



City of Ferndale
 Community Development Department
 2095 Main Street / P.O. Box 936
 Ferndale, WA 98248
 (360) 685-2369 phone
 (360) 384-5189 fax
www.cityofferndale.org

Si tiene problemas para leer o hablar Inglés, encontrar a alguien que pueda traducir para usted y que le ayuden a completar esta solicitud y llevarlos con usted a la Alcaldía.

APPOINTMENT REQUIRED TO SUBMIT

MANUFACTURED HOME INSTALLATION APPLICATION 2015

OFFICE USE ONLY	
PERMIT NUMBER: _____	RECEIVED BY/DATE: _____
ASSOCIATED PERMIT #'S _____	

CONTACT INFORMATION

MANUFACTURED HOME OWNER APPLICANT

Name: _____
 Address: _____
 City: _____ State: _____ Zip: _____
 Phone: () _____ Fax: () _____
 Cell: () _____ E-mail: _____

CONTRACTOR/ INSTALLER APPLICANT

Name: _____
 Address: _____
 City: _____ State: _____ Zip: _____
 Phone: () _____ Fax: () _____
 Cell: () _____ E-mail: _____

L & I License #: _____ Exp.: _____

COPY OF LICENSE MUST BE ATTACHED TO THIS APPLICATION MM/DD/YY

City of Ferndale Business Lic. #: _____

REQUIRED

ARCHITECT DESIGNER ENGINEER APPLICANT

Name: _____
 Address: _____
 City: _____ State: _____ Zip: _____
 Phone: () _____ Fax: () _____
 Cell: () _____ E-mail: _____

PARK MANAGER OR PARK OWNER APPLICANT

Name: _____
 Address: _____
 City: _____ State: _____ Zip: _____
 Phone: () _____ Fax: () _____
 Cell: () _____ E-mail: _____

PROPERTY INFORMATION

PROJECT ADDRESS: _____

APPROVED BY PLANNER _____ staff initials

TAX PARCEL NUMBER: _____

LEGAL DESCRIPTION: _____

ZONING: _____

What year is your home: _____
 If your home is 1976 or older, the Washington State Department of Labor and Industries must certify this structure as structurally sound prior to applying to the City of Ferndale. Washington State Department of Labor and Industries can be reached by calling (360)647-7300. You will need to submit a copy of the certification.

PROJECT INFORMATION

CLASS OF WORK (Check all that apply):

- NEW HOME USED HOME REPLACEMENT
- SINGLE WIDE DOUBLE WIDE
- TRIPLE WIDE QUAD TIP OUTS OR TAG ROOMS

LENDER/BOND: (Information must be provided for projects over \$5,000 in valuation per RCW 19.27.095)

LENDER/BOND NAME: _____
 LENDER/BOND PHONE #: () _____
 LENDER/BOND ADDRESS: _____
 SELF FINANCED: YES

PROJECT VALUATION: (Cost of project; includes Labor, Equipment and Materials)

\$ _____

MANUFACTURED HOME INFORMATION

BEDROOMS: _____
 # STORIES: _____ # BATHROOMS: _____
 TOTAL SQUARE FOOTAGE OF HOME: _____
 BASEMENT: Yes No
 SEWER: New existing connection
 WATER: New existing connection

CERTIFICATION

I CERTIFY UNDER PENALTY OF PERJURY THAT THE INFORMATION AND EXHIBITS SUBMITTED HERewith ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND, FURTHER, THAT I AM AUTHORIZED BY THE OWNER (SEE OWNER CONSENT FORM) OF THE ABOVE PREMISES TO PERFORM WORK FOR WHICH PERMIT APPLICATION IS MADE.

APPLICANT SIGNATURE _____

DATE _____

OFFICE USE ONLY

COMMUNITY DEVELOPMENT DEPT. ROUTING/REVIEW SHEET

DEPARTMENT	COMMENTS	STAFF INITIALS/ DATE
PLANNING	<input type="checkbox"/> See attached "Approved Site Plan ", dated _____ for conditions of Approval. <input type="checkbox"/> See attached written "Planning Department Conditions of Approval" dated _____ for conditions of Approval <input type="checkbox"/> Other: <input type="checkbox"/> CAO <input type="checkbox"/> Flood <input type="checkbox"/> PW Review Necessary SCHOOL MITIGATION FEES: <input type="checkbox"/> N/A <input type="checkbox"/> Pay prior to issuance	_____ _____
BUILDING	Type of Occupancy: _____	_____
PUBLIC WORKS	<input type="checkbox"/> LDP <input type="checkbox"/> Encroachment <input type="checkbox"/> OTHER: _____	_____

WORKSHEETS

Additional Comments:	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 80%;">FEE TYPE</th> <th style="width: 20%;">AMOUNT</th> </tr> </thead> <tbody> <tr> <td>Manufactured Home Installation Fee SW = \$150.00 DW = \$250.00 TW = \$350.00</td> <td></td> </tr> <tr> <td>Deposit = ½ of the installation fee</td> <td style="text-align: center;">()</td> </tr> <tr> <td>Storm Hookup Inspection</td> <td></td> </tr> <tr> <td>SW Sewer Bypass Surcharge</td> <td></td> </tr> <tr> <td>Sewer Connection</td> <td></td> </tr> <tr> <td>Sewer Hookup Inspection</td> <td></td> </tr> <tr> <td>Water Set Up Fee</td> <td></td> </tr> <tr> <td>Water Connection</td> <td></td> </tr> <tr> <td>Bakerview Water</td> <td></td> </tr> <tr> <td>Meter <input type="checkbox"/> ¾" <input type="checkbox"/> 1" <input type="checkbox"/> 2" <input type="checkbox"/> Other</td> <td></td> </tr> <tr> <td>Meter Installation Fee</td> <td></td> </tr> <tr> <td>Traffic Mitigation</td> <td></td> </tr> <tr> <td>Park Mitigation</td> <td></td> </tr> <tr> <td>Storm Mitigation Fee – Res (414)</td> <td></td> </tr> <tr> <td> </td> <td></td> </tr> <tr> <td> </td> <td></td> </tr> <tr> <td>Archive Fee:</td> <td style="text-align: center;">\$10.00</td> </tr> <tr style="border: 2px solid black;"> <td>TOTAL:</td> <td></td> </tr> </tbody> </table>	FEE TYPE	AMOUNT	Manufactured Home Installation Fee SW = \$150.00 DW = \$250.00 TW = \$350.00		Deposit = ½ of the installation fee	()	Storm Hookup Inspection		SW Sewer Bypass Surcharge		Sewer Connection		Sewer Hookup Inspection		Water Set Up Fee		Water Connection		Bakerview Water		Meter <input type="checkbox"/> ¾" <input type="checkbox"/> 1" <input type="checkbox"/> 2" <input type="checkbox"/> Other		Meter Installation Fee		Traffic Mitigation		Park Mitigation		Storm Mitigation Fee – Res (414)						Archive Fee:	\$10.00	TOTAL:	
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PERMIT SPECIALIST	_____ SIGNATURE	_____ DATE
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SINGLE FAMILY RESIDENTIAL STORMWATER REQUIREMENTS

IMPERVIOUS SURFACE CALCULATIONS BELOW MUST BE COMPLETED PRIOR TO SUBMITTAL

Impervious surface is a hard surface area that either prevents or retards the entry of water into the soil. The footprint of structures, sidewalks, concrete, asphalt and compact gravel areas are an impervious surfaces.

Roof Areas (Sq. Ft.)	Proposed New & Replaced	Other Impervious Surfaces (Sq. Ft.)	Proposed New & Replaced
House		Gravel Drive/Parking	
Garage		Concrete/Asphalt Paving	
Porches/Decks		Sidewalks	
Other		Other	
TOTAL AREA (Square Feet)		TOTAL OTHER (Square Feet)	

TOTAL OF ALL IMPERVIOUS FROM ABOVE (Square Feet)	
---	--

Project Stormwater Management Requirements Determination (check applicable box)

<input type="checkbox"/>	<p><u>Less than 2000 Square Feet of New and Replaced Impervious</u></p> <p>Minimum Requirement #2 – Project requires General Construction Stormwater Pollution Prevention Plan (SWPPP). Temporary erosion and sediment control must be managed throughout the project.</p>
<input type="checkbox"/>	<p><u>More than 2000 sq. ft. but less than 5000 sq. ft. of new and replaced impervious OR land disturbed greater than 7000 sq. ft.</u></p> <p>Minimum Requirements #1-#5 – Complete and attach Stormwater Requirements #1-#5 packet or provide alternative.</p>
<input type="checkbox"/>	<p><u>More than 5000 sq. ft. of new and replaced impervious or land disturbed greater than one acre</u></p> <p>All Minimum Requirements – The project may require plans and calculation be stamped by a licensed civil engineer.</p>

For additional information refer to Washington Department of Ecology 2012 Stormwater Management Manual for Western Washington (as amended 2014).

Show the following on the Site Plans: 2-ft contours, clearing limits, construction entrance, and silt fence, and location and detail of stormwater structures/facilities.

GENERAL CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

SIGNATURE REQUIRED ON BOTTOM OF PAGE

CONSIDER DIRECTION OF FLOW ON SITE AND PLAN ACCORDINGLY

Purpose

To prevent the discharge of sediment and other pollutants from small construction projects.

Design and Installation

Plan and implement proper clearing and grading of the site. It is important only to clear the areas needed, keeping exposed areas to a minimum. Phase clearing so that only those areas that are actively being worked are uncovered.

Note: Clearing limits shall be flagged on the lot or project area prior to initiating clearing

- From October 1 through April 30, no soils shall remain exposed and unworked for more than two days. From May 1 to September 30, no soils shall remain exposed and unworked for more than seven days.
- Soil shall be managed in a manner that does not permanently compact or deteriorate the final soil and landscape system. If disturbance and/or compaction occur the impact must be corrected at the end of the construction activity. This shall include restoration of soil depth, soil quality, permeability, and percent organic matter. Construction practices must not cause damage to or compromise the design of permanent landscape or infiltration areas.
- Locate any soil piles away from drainage systems. Soil piles should be tarped or mulched until the soil is either used or removed. Piles should be situated so that sediment does not run into the street or adjoining yards.
- Backfill foundation walls as soon as possible and rough grade the lot. This will eliminate large soil mounds, which are highly erodible, and prepares the lot for temporary cover, which will further reduce erosion potential.
- Remove excess soil from the site as soon as possible after backfilling. This will eliminate any sediment loss from surplus fill.
- The construction entrance shall be stabilized where traffic will be leaving the construction site and traveling on paved roads or other paved surfaces.
- Provide for periodic street cleaning to remove any sediment that may have been tracked out. Sediment should be removed by shoveling or sweeping and carefully removed to a suitable disposal area where it will not be re-eroded.

Signed:	Date:
Print Name:	

OWNER CONSENT FORM

*****THE CITY OF FERNDALE WILL NOT ACCEPT AN APPLICATION THAT IS NOT ACCOMPANIED BY THIS FORM*****

The legal park owner or *park manager must complete this form, if home is being located in a Park

If you are authorizing an agent, contractor, and/or tenant/lessee to apply for a permit to install a manufactured home in your park, you, the owner or park manager, must also complete the "Designation of Agent/Contractor/Tenant/Lessee" portion of this form.

STATEMENT OF OWNERSHIP

I/we, the undersigned property owners, under penalty of perjury, state that I/we am/are the legal owner(s)/representative of the property described as follows:

Legal Description:

Property Address: _____ Space #: _____

Tax Assessor Parcel #: _____

DESIGNATION OF AGENT/CONTRACTOR/TENANT/LESEE

I/we hereby designate the following party(ies) to act as my/our agent with respect to this application submitted to the City of Ferndale.

Print Name of Designated Individual: _____

Role of Individual: Tenant/Lessee ****Perform Installation** **Submit Permit** (Mark all that apply)

Print Name of Designated Individual: _____

Role of Individual: Tenant/Lessee ****Perform Installation** **Submit Permit** (Mark all that apply)

IF NOT A REGISTERED CONTRACTOR, YOU MUST BE ABLE TO MEET EXEMPTIONS PER RCW 18.27.090

LEGAL PARK OWNER OR *PARK MANAGER MUST READ AND SIGN

I UNDERSTAND THAT I AM CONSENTING TO ALLOW THE INDIVIDUAL(S), IF APPLICABLE, AS DESIGNATED ABOVE, TO APPLY FOR THIS PERMIT AND/OR INSTALL THE HOME (IDENTIFIED BY THIS APPLICATION ONLY) ON THE SUBJECT PROPERTY AND SPACE. IN ADDITION, MY SIGNATURE BELOW ALLOWS CITY STAFF INVOLVED IN THIS APPLICATION TO ENTER ONTO AND INSPECT THE SUBJECT PROPERTY FOR THE SOLE PURPOSE OF MAKING ANY EXAMINATION OF THE PROPERTY, WHICH IS DEEMED NECESSARY BY STAFF TO PROCESS THIS APPLICATION AND PERFORM INSPECTIONS.

OWNER OF HOME/PARK OR *PARK MANAGER MUST COMPLETE THIS INFORMATION

Owner or *Park Manager Name (print): _____

Mailing Address: _____

Telephone: _____

OWNER/*PARK MANAGER SIGNATURE

DATE

***If Park Manager is signing on behalf of the Park Owner, you are signing with assurance that you are legally authorized to represent the Park Owner**



Per RCW 18.27.110 Written Notice to Building Permit Applicant



What is required by law?

In Washington, all contractors who perform work or who advertise or submit bids in this state must be registered with the Department of Labor & Industries (L&I), post a bond and carry general liability insurance coverage.

- A general contractor must maintain a \$12,000 bond. A specialty contractor, such as a painter, must maintain a \$6,000 bond. An electrical contractor must maintain a \$4,000 bond. Dissatisfied consumers may pursue restitution by taking civil action in Superior Court against a contractor's bond.
- All registered contractors must carry general liability insurance coverage in the amount of \$50,000 property damage and \$200,000 public liability or \$250,000 combined single limit. (Note: This requirement does not pertain to electrical contractors. Telecommunications contractors must carry \$170,000 in general liability insurance.)
- A contractor must have a current business license, and if the contractor has employees, he or she must have workers' compensation coverage.
- A contractor must provide a "Notice to Customer" disclosure statement to you for any residential project with a projected cost of \$1,000 or more, and any commercial project of \$1,000 to \$60,000.

Except for the licensing of electricians and certification of plumbers, there isn't a competency test to become a contractor in Washington State.

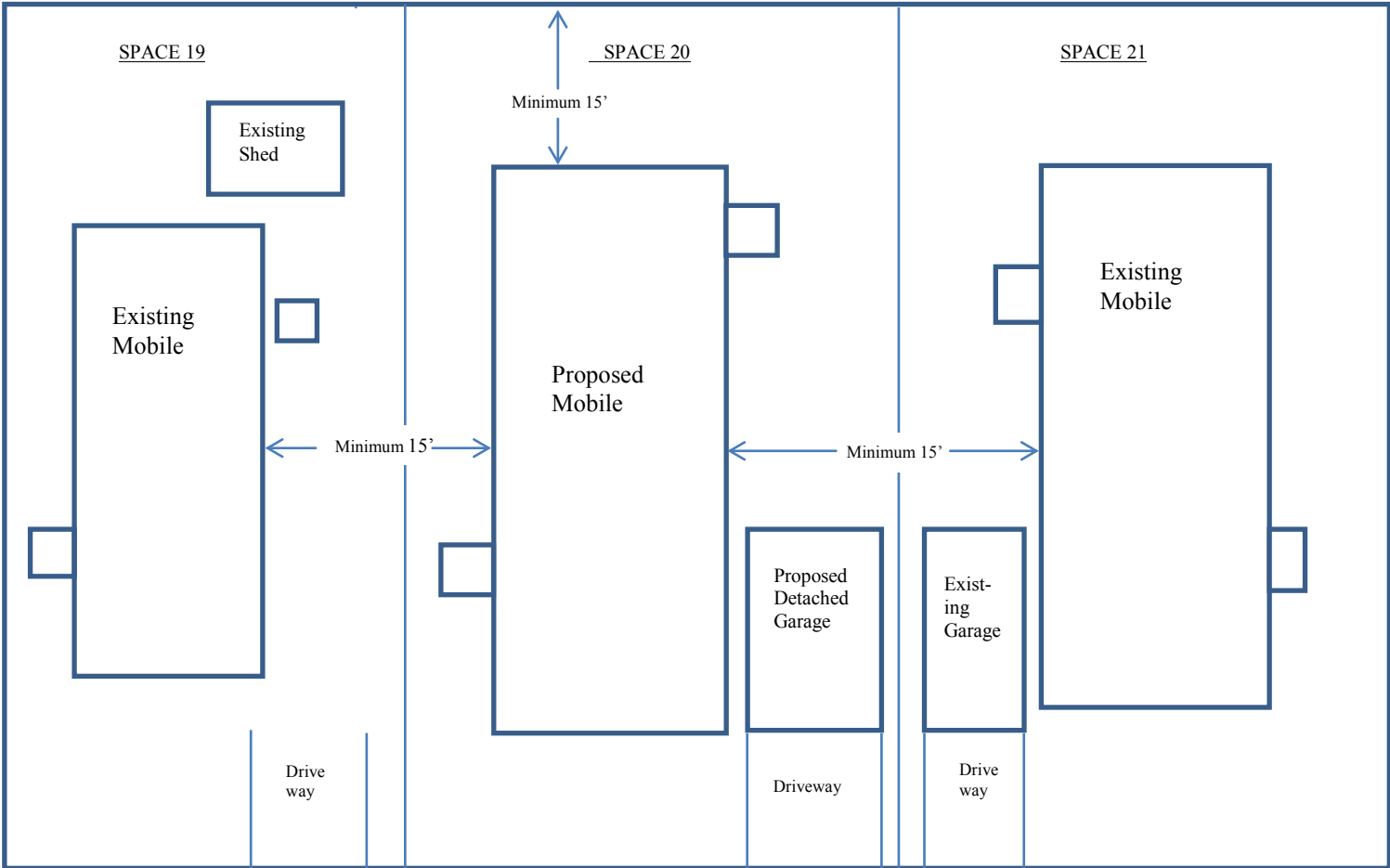
*Department of Labor and Industries Publication F625-084-000 [02-2008]

****USE THIS CHECKLIST TO ENSURE REQUIRED INFORMATION IS ON SITE PLAN****

**PLANNING DIVISION MANUFACTURED/MOBILE HOME SITE PLAN
INSTRUCTIONS CHECKLIST – 2 COPIES**

CHECK	ITEM
<input type="checkbox"/>	SITE PLAN MUST BE ON 8 ½" X 11 or 11 X 17 SHEETS or
<input type="checkbox"/>	Use the blank site plan provided with application for your Site Plan (scale not required)
<input type="checkbox"/>	Scale Site Plan at 1" = 10', 1" = 20' or larger (Indicate Scale Used on Site Plan)
<input type="checkbox"/>	Site address and Lot Number, parcel number, and North arrow must be indicated on Site Plan.
<input type="checkbox"/>	No home shall be located closer than 15 feet from any other home or permanent building within the mobile home park development, except for garages and sheds used as an accessory use.
<input type="checkbox"/>	Individual lot lines, with corners and dimensions must be shown and labeled along with any easements (utilities, access, etc.)
<input type="checkbox"/>	Front, rear, and side home setback dimensions from lot lines must be measured and shown on Site Plan from the nearest point of the structure to the lot line. (Note: This includes landings and decks)
<input type="checkbox"/>	Indicate location, dimension of proposed home, including decks and porches. Include other homes on either side of proposed home. Make a clear distinction between the existing and proposed home, if applicable. (Remember there must be 15' separation from home to home)
<input type="checkbox"/>	The use of each building (garage, residence, etc.) must be identified on Site Plan.
<input type="checkbox"/>	If applicable, critical areas on the site (streams, wetlands, slopes) and their buffers. (Note: If critical Areas are determined to be on or adjacent to the site, additional information will be required in order to ensure the requirements of the City's Critical Areas Ordinance are met).
<input type="checkbox"/>	If applicable, accurate locations of Shoreline jurisdiction boundaries or Floodplain boundaries.
<input type="checkbox"/>	Any other information that the Planning & Building Department deems necessary for review of the application. (Check with staff prior to application).

SITE PLAN EXAMPLE



-----Anita Lane-----

Parcel #: _____
Address: _____ Space#: _____



SITE PLAN SUBMITTAL

<u>Existing Mobile Space#</u> _____ 	<u>Proposed Mobile Space #:</u> _____ 	<u>Existing Mobile Space#:</u> _____
---	---	--

-----Street/Road Name: _____-----

Parcel #: _____

Address: _____ Space#: _____

Indicate North Direction in the box above

SUBMIT SITE PLAN DRAWING ON AN 8 ½” x 11” or 11” x 17” SHEET OF PAPER USING A SCALE OF 1” = 10’ OR 1” = 20’ OR

USE THIS BLANK SITE PLAN & SUBMIT 2 COPIES (scale not required). DO NOT USE PENCIL

USE SAMPLE PLAN IN THE PACKET & SITE PLAN CHECKLIST TO ASSIST YOU.

WHAT TO SHOW ON THE SITE PLAN: (DRAWING NEEDS TO BE CLEAR AND LEGIBLE) More information may be required

- Identify and label proposed home and spaces located on both sides of the proposed home.
- Show the proposed mobile/manufactured home location and existing mobile/manufactured home locations, if any, for each space including landings/decks.
- Label the following setbacks: from proposed home to existing homes.
(Minimum required setbacks are as indicated on Planning Site Plan Instructions/Checklist, page 5 of this application)
- Identify all, if any, other structures for each space (e.g. enclosed garages, open carports, sheds, etc.).
- Identify “North” by providing a North arrow.
- Provide Parcel #, Address and Space #.

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City of Ferndale
 2095 Main Street
 Ferndale WA 98248
 Plans Examiner 360-685-2364
 Permit Specialist 360-685-2369
 Building Inspector 360-685-2363

**COMMUNITY DEVELOPMENT DEPARTMENT
 MOBILE/MANUFACTURED HOME
 PLAN REVIEW SPECIFICATIONS FOR PARK**

COMPLETE PAGES 9, 10 & 11 AND SUBMIT DRAWINGS AS REQUIRED

Completa las páginas 9, 10, 11, presentar los planos como sea necesario. Si tiene dificultad para hablar o leer en Inglés, por favor consulte con una persona que pueda traducir para usted, yllevar a esa persona a su reunión con el Ayuntamiento.

HOME

Make: _____ Model: _____

Year: _____ Size: (width) _____ X _____ (length)

Serial #: _____ **Height from ground to bottom of floor joist:** _____

Single-Wide: Double-Wide: Triple-Wide:

SITE SOIL

Soil Bearing: _____ **PSF (pounds per square foot from table below)**

Soil Type Based on the Unified Classification System	Allowable Pressure Pounds per Square Foot No allowances made for overburden pressure, embedment depth, water table height, or settlement problems
Rock or hard pan	4,000 and up
Sandy gravel and gravel	2,000
Sand, silty sand, clayey sand, silty gravel, or clayey gravel	1,500
Clay, sandy clay, silty clay, or clayey silt	1,000
Uncompacted fill	Special analysis required
Peat or organic clays	Special analysis required

If soil type cannot be determined, 1,000 PSF soil bearing shall be applied

DESIGN ROOF-LOAD (Your home must meet this design requirement)

Ferndale – 20 PSF (pounds per square foot) minimum

DESIGN WIND-LOAD (Your home must meet this design requirement)

Ferndale – Standard wind Zone 1 – 15 PSF (pounds per square foot) Horizontal 9 PSF uplift

INSTALLATION OPTION - Check only one option – This is the option you are choosing to install your home.

Option 1: Manufacturer’s Instructions - Read & Use Owner’s manual to install your home
 - See Page 11 for further instructions

Option 2: Ferndale’s Prescriptive Method
 - See Page 11 for further instructions

Option 3: ANSI A225.1 (American National Standard Institute)
 - See Page 11 for further instructions

Option 4: Designed by Professional Engineer or Architect licensed in Washington State
 - See page 11 for further instructions

FOUNDATION - Check the type of foundation you are choosing.

- Pads/Piers; # of Pads/Piers being used: _____
- Continuous concrete footing/runners (Minimum 3 ½” thick). Indicate thickness: _____”
- Slab (Minimum 3 ½” thick). Indicate thickness: _____”
- Magnum System – **Attach copy of manufacturer’s instructions**

PIER BLOCKING - Check the appropriate box for the pier blocking you are choosing.

- Single blocks – maximum height of 36” - Indicate height: _____”
- Double-interlocked blocks – maximum height of 80” - Indicate height: _____”
- Double-interlocked blocks – maximum height of 96”* - Indicate height: _____”
- Steel or concrete manufactured pier - Indicate height: _____”
- Magnum System - **Attach manufacturer’s instructions**

*NOTE: For piers exceeding 80 inches in height, the concrete blocks should be filled with concrete pouring and steel reinforcing bars should be utilized –

ANCHORING - Check the type to be utilized for your home.

- Ground
- Magnum – **Attach manufacturer’s instructions**
- Concrete – 2500 PSI (Per Square Inch)

TIE-DOWN COMPONENTS – MUST BE ANSI APPROVED –

Check the type to be utilized for your home. Attach manufacturer’s specifications, if new home.

- Ground Anchors; # of Ground Anchors: ____ Spacing between each one: _____ Ft. on Center
 - Concrete Deadman Anchor
 - Auger Anchor
 - Cross/Spike Anchor
 - Anchors in Concrete Slab

TIE-DOWN STRAPS – MUST BE ANSI APPROVED –

Attach manufacturer’s specifications, if new home.

- How many per side? _____ Spacing between each one: _____ Ft. on Center
- Hold-down capacity per Strap _____ lbs.

Additional Required Installation Instructions for the “Option” you have chosen on Page 9

CHECK THE BOX TO INDICATE YOUR INSTALLATION OPTION

Option 1: **Manufacturer’s Installation** - Read & Use Owner’s Manual for installation requirements.

1. Submit two (2) copies of the following from the home’s manual:
 - a) Floor Plan (must identify Model & Make on copy)
 - b) Identify any additional “Option” you are choosing on floor plan
 - c) Pier Construction Diagram
 - d) Blocking Layout Diagram
 - e) Frame Tie-Down Diagram

Option 2: **Ferndale’s Prescriptive Method** – Installation must be done as follows:

1. Minimum 4” thick Pier Pad of 16” x 16” or
2. Minimum 3 ½ ” thick Strip Footing or
3. Minimum 3 ½ ” Full Slab
4. All Perimeter Pier Support & Frame Blocking shall be placed at four (4) feet on center.
5. Piers shall be placed at a maximum of two (2) feet from both ends.
6. Piers shall be placed on both sides of entry doors & at any other opening greater than four (4) feet in width, such as patio or atrium doors; under porch posts, fireplaces, and woods stoves; and under those places where heavy pieces of furniture such as pianos, organs, waterbeds, etc., may be placed.
7. Tie-Down Straps shall be a minimum 4725 lbs. and there shall be no less than five (5) straps per side up to 52’ in length & six (6) straps per side over 52’ feet in length & no less than one (1) strap every 8’.
8. Submit two (2) copies of the required drawings as shown on page 15.

Option 3: **ANSI A225.1**

1. Use Tables 4-1, 4-2 & 4-3 found on pages 6 & 7 for installation – NOTE: You can only install according to a Live Roof Load of 20 lbs. PSF (Per Square Foot) in Ferndale.
2. See Table 4-1 for required pier capacity and spacing.
3. See Table 4-3 for footing size (See footnotes 1 & 2 at bottom of table).
4. Concrete footings shall be a minimum of 3 ½” thick.
5. Submit two (2) copies of the required drawings as shown on page 15.

Option 4: **Designed by Professional Engineer or Architect licensed in Washington State**

1. Submit one (1) original wet-stamp & one (1) copy of required drawings as shown on page 15 designed by an Engineer or Architect licensed in Washington State.

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PLAN SUBMITTAL INSTALLATION REQUIREMENTS for OPTIONS 2, 3 or 4
(See attached drawing found on Page 15 as an EXAMPLE ONLY)

Using a scale of $\frac{1}{4}'' = 1'$, or $\frac{1}{8}'' = 1'$, submit two (2) copies on 8 ½ x 11 or 11 x 17 sheets of paper (do not use pencil) showing the following information: (Note: your drawing needs to be consistent with the design method as laid out on Pages 1 and 2). **DO NOT USE PENCIL**

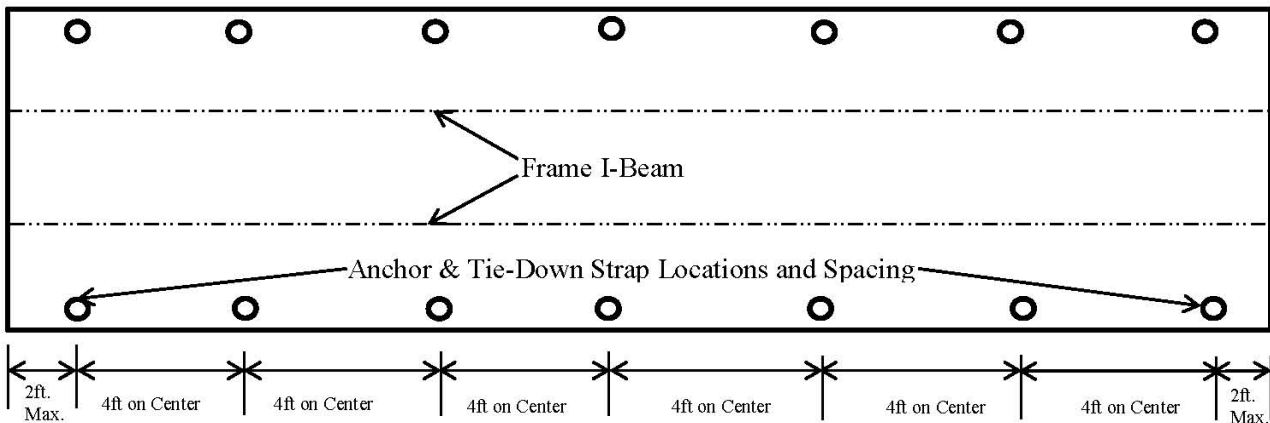
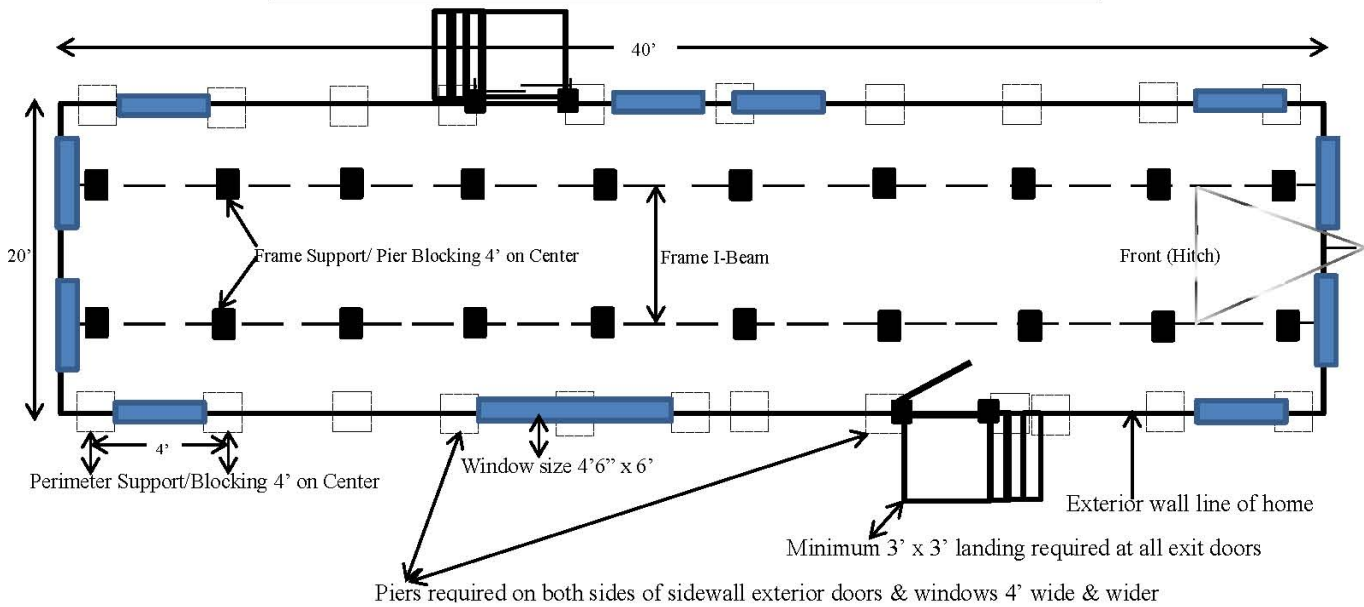
1. Exterior wall lines - Indicate dimensions.
2. Front Hitch.
3. Frame I-Beam.
4. Frame Support/Pier Blocking – Indicate locations and spacing dimensions between each one.
5. Perimeter Support/Pier Blocking – Indicate locations and spacing dimensions between each one.
6. Identify all window locations and indicate their size.
7. Identify all exit door landings (minimum 3' x 3' required). (DO NOT ATTACH LANDING TO HOME)
8. Identify all Anchor locations and spacing dimensions between each one.
9. Identify all Tie-Down Strap locations and spacing dimensions between each one.

NOTE:

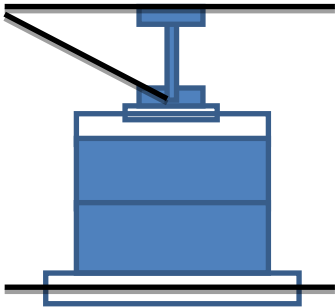
1. If exit landing is 30" above grade, guardrails/handrails are required. (DO NOT ATTACH LANDING TO HOME)
2. Firm, stable, slip resistant 3' x 3' landing required at bottom of stairs.

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PLAN DRAWING EXAMPLE

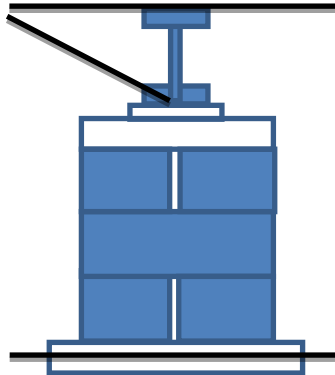


TYPICAL FOOTING AND PIER INSTALLATION



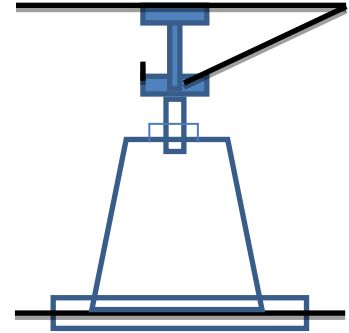
Pier 1

Single blocks
Maximum height of 36 inches



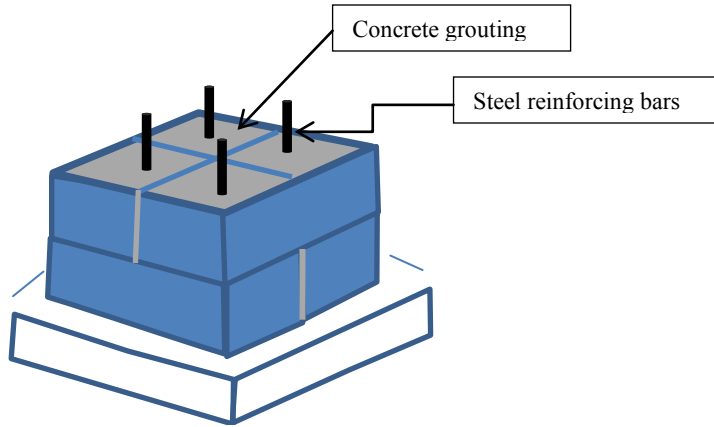
Pier 2

Double-interlocked blocks
Maximum height of 80 inches



Pier 3

Steel or concrete
Manufactured Pier



For piers exceeding 80 inches in height, the concrete blocks should be filled with concrete grouting and steel reinforcing bars should be utilized.

OPTION #3 ONLY
USE TABLES 4-1, 4-2 & 4-3

**TABLE 4-1 – MINIMUM PIER CAPACITY
BASED ON THE AMERICAN NATIONAL STANDARD (ANSI)
FERNDALE ROOF LIVE LOAD OF 20LBS PSF
FRAME PLUS PERIMETER BLOCKING
(BOTH FRAME AND PERIMETER BLOCKING REQUIRED)**

Section Width (Feet)	Roof Live Load 20 lbs. per square ft.	Pier Location	Minimum Pier Capacity (pounds)			
			Maximum Pier Spacing (feet)			
			4	6	8	10
8	20 lbs.	Frame	900	1300	1800	2200
		Perimeter	600	800	1100	1400
10	20 lbs.	Frame	1100	1700	2200	2800
		Perimeter	700	1100	1400	1800
12	20 lbs.	Frame	1300	1900	2600	3200
		Perimeter	800	1200	1600	2000
14	20 lbs.	Frame	1500	2200	3000	3700
		Perimeter	900	1400	1900	2400
16	20 lbs.	Frame	1700	2600	3400	4300
		Perimeter	1100	1600	2200	2700
18	20 lbs.	Frame	1900	2900	3900	4800
		Perimeter	1200	1800	2500	3100

**TABLE 4-2 – MINIMUM PIER CAPACITY
MULTISECTION CENTER-BEAM BLOCKING
BASED ON THE AMERICAN NATIONAL STANDARD (ANSI)
FERNDALE ROOF LIVE LOAD OF 20LBS PSF**

Section Width (Feet)	Roof Live Load 20 lbs. per square ft.	Pier Load & Minimum Capacity (pounds)						
		Mating Wall Opening (feet)						
		5	10	15	20	25	30	35
8	20 lbs.	600	1200	1800	2400	3000	3600	4200
10	20 lbs.	800	1500	2300	3000	3800	4500	5300
12	20 lbs.	900	1800	2600	3500	4400	5300	6100
14	20 lbs.	1000	2000	3000	4100	5100	6100	7100
16	20 lbs.	1200	2300	3500	4700	5800	7000	8100

OPTION #3 ONLY

TABLE 4-3 – FOOTING SIZE ^{1,2}
BASED ON THE AMERICAN NATIONAL STANDARD (ANSI)

Pier Capacity	Minimum Footing Size or Equal Area (inches)			
	Soil Capacity			
Pounds per Square Foot	1000 psf	1500 psf	2000 psf	4000 psf
600	9 x 9	8 x 8	7 x 7	5 x 5
800	11 x 11	9 x 9	8 x 8	5 x 5
1000	12 x 12	10 x 10	8 x 8	6 x 6
1500	15 x 15	12 x 12	10 x 10	7 x 7
2000	17 x 17	14 x 14	12 x 12	8 x 8
2500	19 x 19	15 x 15	13 x 13	10 x 10
3000	21 x 21	17 x 17	15 x 15	11 x 11
3500	22 x 22	18 x 18	16 x 16	12 x 12
4000	24 x 24	20 x 20	17 x 17	13 x 13
4500	25 x 25	21 x 21	18 x 18	13 x 13
5000	27 x 27	22 x 22	19 x 19	14 x 14
5500	28 x 28	23 x 23	20 x 20	15 x 15
6000	29 x 29	24 x 24	21 x 21	15 x 15
6500	31 x 31	25 x 25	22 x 22	16 x 16
7000	32 x 32	26 x 26	22 x 22	16 x 16
7500	33 x 33	27 x 27	23 x 23	17 x 17
8000	34 x 34	28 x 28	24 x 24	17 x 17
8500	35 x 35	29 x 29	25 x 25	18 x 18
9000	36 x 36	29 x 29	25 x 25	19 x 19
10000	38 x 38	31 x 31	27 x 27	20 x 20
11000	40 x 40	32 x 32	28 x 28	21 x 21
12000	42 x 42	34 x 34	29 x 29	22 x 22
13000	43 x 43	35 x 35	31 x 31	22 x 22
14000	45 x 45	37 x 37	32 x 32	23 x 23
15000	46 x 46	38 x 38	33 x 33	24 x 24
16000	48 x 48	39 x 39	34 x 34	25 x 25
17000	49 x 49	40 x 40	35 x 35	25 x 25
18000	51 x 51	42 x 42	36 x 36	26 x 26
19000	52 x 52	43 x 43	37 x 37	

NOTE –

1. The footing sizes shown are for square pads and are based on the area (square inches) required for the load. Other footing configurations, such as a rectangular configuration, may be used provided the area (square inches) is equal to or greater than the area of the square footing shown in the table. For example, a 12-inch x 22-inch (264-square-inch) footing may be used in place of a 16-inch x 16-inch (256-square-inch) footing. Also two 12-inch x 24-inch pads may be used in place of one 24-inch x 24-inch pad.
2. Ferndale regulations may require design verification by an engineer.